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May 3, 2024

#### NOTICE OF ADDENDUM ADDENDUM NO. 2 City of Madison, Engineering Department

#### CONTRACT NO. 9358 Bartillon Shelter

This addendum is issued to modify, explain or correct the original Drawings, Specifications, or Contract Documents marked as **Bartillon Shelter** *Contract* #9358, *dated March* 1, 2024 as issued on March 8, 2024 and Addendum No.1 dated April, 10<sup>th</sup>, 2024 as issued on April 11<sup>th</sup>, 2024 and is hereby made a part of the contract documents.

This addendum consists of the following documents:

Please attach these Addendum documents to the Drawings (Exhibit A), Specifications (Exhibit B and C), and Contract Specifications in your possession.

## 1. GENERAL CONTRACT CONDITIONS

- 1. Remove and replace Section A: Advertisement for Bids and Instructions to Bidders (Page A-1).
  - i. PREQUALIFICATION APPLICATION DUE (2:00 P.M.) date revised to THURSDAY MAY 16, 2024
  - ii. BID SUBMISSION (2:00PM) date revised to THURSDAY MAY 23, 2024
  - iii. BID OPEN DATE (2:30PM) date revised to THURSDAY MAY 23, 2024
  - iv. PUBLISHED IN WSJ dates revised to include MAY 10 and MAY 17, 2024
- Several Items will not be addressed with this addendum (Addendum 2), as noted below. A third and final addendum (Addendum 3) will be published the week of May 13, 2024. In addition, updates to Exhibit E Bartillon Path will be published with Addendum 3 for coordination with changes to the site civil plan.

# 2. GENERAL QUESTIONS AND ANSWERS

1. Section 01 50 00 part 1.4.F addresses temporary heat. Will use of permanent systems be authorized for temporary conditioning of the space? If so, who is responsible for the cost of fuel consumed? Should the Contractor include the cost of fuel consumption with the bid?

Permanent equipment needs to follow proper startup and commissioning procedures and be protected from damage during construction. This means it isn't available during construction for temporary conditioning. Upon proper startup and commissioning it can be used but this is likely not to occur before the last couple of months of construction. In addition if permanent equipment is used in the last few months of construction, then additional Indoor Air Quality procedures need to be followed as detailed in 01 81 13 related to LEED procedures. The specification section 01 50 00 1.4 clearly puts the cost of fuel for temporary heating on the GC.

- Section 10 75 16 Ground-set flagpole states to "see drawing" for height under part 1.2.A. Please provide the height information and location on the drawing. Ground Set Flagpole spec removed from project in Addendum 2.
- 3. Please clarify the floor system and finish at the walk-in cooler/freezer. There is conflicting information between the drawings and specifications.
  - i. Drawing FS4 calls for an 8" recessed floor at the walk-in cooler area. Detail 4 on the same drawing indicates floor panels covered with grout and flooring by the GC.

Walk-in manufacturer will provide floor insulation at walk-in cooler and freezer. GC will provide concrete floor to match kitchen floor finish and elevation.

ii. A section detail on drawing FS7 calls out a 7" recess with 3" concrete and quarry tile.

Floor depression shall be 8". Finish flooring to match kitchen floor finish.

iii. Specification section 11 40 00-1, line 26 reinforces the quarry tile reference on the drawing.Delete "quarry tile or other" from line 26. Flooring to match kitchen floor

Delete "quarry tile or other" from line 26. Flooring to match kitchen floor finish.

iv. Specification section 11 40 00-9, lines 44-45 calls for 16ga. S/S with non-skid strips.

Delete lines 44-45; 16ga. S/S non-skid strips not needed.

- v. The room finish schedule on A9.0A (rooms 140-141) states to "refer to the kitchen consultant drawing".
   Provide Walk-in Cooler and Freezer finishes per specifications on Sheet FS7, provide concrete finish floor to match kitchen floor finish and elevation.
- 4. Are there any foundations or thickened slab required at the dumpster? Provide 6" slab at dumpster enclosure per C300 and 3/C601. Basis of design enclosure manufacturer indicates preferred mounting method via Hilti epoxy anchors into slab at posts.
- 5. Please provide locations for the shear wall strap conn (1/S8.10) and hold down anchor (2/S8.10)

Details to be removed in Addendum 2. Light wood framed shear walls not used.

- 6. Please confirm locations and provide details for the structural steel in the bed divider wall shown in detail (8/A8.2). The plans refer to the structural drawings, but nothing regarding that scope is shown on those drawings. Steel in bed divider walls and shower partition walls on the second floor are called out on sheets A1.2A and A1.2B via keynotes (see keynote 6)
- 7. On drawing S1.2A there is a callout for section 1/S8.13; however, drawing S8.13 has been provided. Please provide drawing S8.13 or clarify the section reference. Drawing S8.13 is added to set via Addendum 2.

- 8. On drawing A5.0, note showing "Solid Surface on this wall" is only pointed to one wall in Single 128, are we to assume this goes in the additional Single rooms (125, 126, 127) and Toilet/Shower (146, 147) at head of built in bench? Please refer to A9.1A to see extents of solid surface material at single rooms 125-128. Note on A5.0 is to clarify that the 4C wall type (CMU) should receive solid surface. Adjacent walls indicate solid surface finish material as part of the wall construction (ie see 9Q1).
- 9. Questions below regarding Kitchen equipment:
  - i. Kitchen Equipment Item 12, Line B: Model 1600KITCF2S48PS Dormont or Avtec approved equal model. Flexible gas hose with plastic coating, double swivels on both ends and Safety Quick disconnect. Model number is not in the Dormont or Avtec catalog. Please Advise. Confirm quantity of gas hoses. Provide a Vulcan VC66ED electric convection oven. Gas hoses not needed.
  - ii. Kitchen Equipment Item 14: Cleveland Model VE40 Braising Pan: Model is not in the Cleveland catalog. Please Advise. Provide a Cleveland SEL40TR.
  - iii. Kitchen Equipment Item 15: Range with Convection Oven: Accessories state "Heavy Duty Locking Casters" There are multiple model options for casters within this range. Please advise. Provide CASTERS-RR4.
  - iv. Kitchen Equipment Item 23: Slicer with Stand. There are multiple HS6 sliders in the catalog. Please Advise which model. Provide a Hobart base HS6. (With removable knife as standard).
  - v. Kitchen Equipment Item 24: Preparation Table: Advise on the manufacturer and model of the 2" Rotary Lever Drain. Provide a T&S B-3950.
  - vi. Kitchen Equipment Item 26: Disposer: T&S Vacuum Breaker Model number is incorrect. Please advise Provide a T&S B-0455.
  - vii. Kitchen Equipment Item 29: Roll Thru Refrigerator: Model number changed to D2RINRT-E. Rack is not included in the accessories. Advise on Rack Manufacturer and Model number. Provide a Continental D2RINSSRT-E and two roll-in racks as specified.
  - viii. Kitchen Equipment Item 30: Hot Holding Roll Through Cabinet: Rack is not included in the accessories. Advise on Rack Manufacturer and Model. Provide two roll-in racks as specified.
  - ix. Kitchen Equipment Item 43: Disposer: T&S Vacuum Breaker Model is incorrect. Please Advise.
     Provide a T&S B-0455.
  - x. Kitchen Equipment Item 46: Dishwasher: For single point connection do you want Hobart to install it or install by electrician? Hobart will install the dishwasher, EC to make final electrical connection.
  - xi. Kitchen Equipment Item 49: Pot & Pan Shelving: There are multiple 2448 shelving models. Please Advise. Provide Metro 2448BR.
  - xii. Kitchen Equipment Item 58: Ice and Water Dispenser: "Franke ECO ICE" need model number and more information. Provide an ECO ICE X1.
- 10. Section 12 36 61.16 nor the drawings indicate support for the bathroom countertops/sink skirt. Are countertop supports to be included? If so, please provide spec information.

Please see Section 22 4216.13 – 2.3 Solid-Surface, Ligature Resistant, Wall-Mounted Lavatories. Support is indicated 2.3.A.10. provide Type III lavatory carrier. Include rectangular, steel uprights.

11. Please Confirm that Nordic X-Lam CLT panels in SPF grade E1 is accepted Confirmed, specs will be updated.

- 12. Please confirm that Nordic Lam+ SPF grade 24f-ES/NPG is accepted in lieu of what is currently specified for the glulam members, while keeping the same beam and column sections as indicated on the structural plans Confirmed, specs will be updated.
- 13. Regarding Stress Classification of the Glulams: Specifications call out a 30F-2.1E, this is proving to be a challenge. Please provide guidance for ability for these Glulams to be supplied as a 24F.

Glulam stress classification revised to 24F. several beam sizes changed to accommodate, see revised plans.

- 14. Regarding Low Voltage/ AV Work:
  - i. How Many Speakers and Locations?
    - There are no ceiling speakers as a part of this project.
  - ii. How many multi-media floor boxes and locations?
    - Provide Floorboxes as shown on Floor plans. Multimedia floorbox to be provided in Flex room 132 and Conference room 119. Data only Floorbox to be provided in Computer Area 131/ Staff area 200.
  - iii. How many video intercom stations and locations?
    - No intercom station as a part of this project.
  - iv. Is the selected low-voltage vendor expected to bid/provide the AV equipment or will the city provide it?
    - AV equipment to be provided by the AV vendor
- 15. Confirm this project contains plastic lockers and provide the location or plans that show them?

Yes, the project contains plastic lockers, Locker types are identified on A6.1, and shown on A5.0, A5.3 and A5.4.

- Floor type F2A & F2B call for (2) layers of 1" noise control isolation material on drawing A6.1. Please provide a specification for this product. Spec section added for noise control isolation material.
- 17. Section 26 05 26-4, lines 30-33 address testing. Please clarify who provides the testing for this work.

The contractor will engage the testing agency. Section 26 05 26-4, lines 30 is removed.

- 18. Section 27 41 00 Audiovisual Systems, part 1.4 Bid Proposals, is part A.1 required for this project; an itemized bid list?
  - i. Similar question to sections 28 13 00 and 28 23 00 part 1.4.A.1. Provide itemized equipment list as per specifications.
- 19. Soil testing, is this by Owner or General Contractor?
  - i. Section 31 05 00 states by Owner. Section 31 23 00 Excavation and Fill states by Contractor.
  - ii. Section 01 45 29 also states Section 31 20 00 is by Contractor, but this section doesn't apply.

Soil testing is by GC, Section 31 0500 will be revised to reflect this.

- 20. Section 31 05 00, part 2.2 Topsoil. Is topsoil provided by the Earthwork Contractor or the Landscape contractor? There is conflicting direction in part 2.2. We will remove the conflicting language. It is up to the GC to decide the who, what, why, and how the topsoil is placed onsite.
- 21. Section 31 05 00-4, line 38 mentions unit prices on the Bid Form. Please clarify or update the bid form.

We will remove references to unit pricing in the specs. (could not find this reference 31 0500-4 only goes to line 37)

22. Section 32 11 23.33-4, lines 16-17 address unit prices for undercutting to be included with bid 90002. Are these unit prices required? If so, please update the bid form and clarify the undercut quantity (depth).

We will remove references to unit pricing in the specs.

23. Section 31 22 16.15, lines 35 & 36 mention unit price regarding EBS. Please clarify or update the bid form.

We will remove references to unit pricing in the specs.

- 24. Section 32 90 12-6, line 40 mentions unit price. Please clarify or update the bid form. We will remove references to unit pricing in the specs.
- 25. Section 03 30 00-13, line 3; clarify joint filling at one month or six month(s). Defer joint filling until concrete has aged at least six months.
- 26. Section 05 12 00-5 part 3.7 Field Quality Control. Who is providing testing/inspections? Both Owner and Contractor are detailed in this section. Contractor is responsible for testing/inspections. We will remove conflicting language.
- 27. Is there a specification for the bike canopy standing seam roof panel product? Spec section added for standing seam metal roof.
- 28. Please provide more drawing and specification details for the "CANTILEVERED METAL CANOPY" called out at detail5/AS1.3. Spec section added to 10 7300 for cantilevered metal canopy. Detail added to A8.5.
- 29. Sheet S1.1A references an elevation 1/S8.13; however, sheet S8.13 has not been issued. Please issue this sheet.

Sheet S8.13 is issued in Addendum 2.

- 30. (BDS) Sheet S1.2B references a cross section 3/S8.13; however, sheet S8.13 has not been issued. Please issue this sheet. Sheet S8.13 is issued in Addendum 2.
- 31. Section 08 11 13-3, line 32; please clarify if borrowed lights are knock-down or welded.

Provide Knockdown frames at borrowed lites.

32. Section 10 26 00 corner guards calls for a stainless product. Detail 9/A8.2 calls for vinyl cover. Please clarify which product is to be used. Also provide CG locations on the drawing.

Provide flush corner guard with Vinyl cover, spec to be revised to match drawings, Drawing A9.1 revised to indicate corner guard locations.

- 33. Section 10 82 00 Trellis where is the trellis shown on the drawings? Trellis has been removed from the project. See specification revisions Addendum 2.
- 34. Please provide detail(s) at roof drains. What is the makeup of the framing materials shown on drawing S1.3B. Beams at openings to be 3x6.875 glulam beams.
- 35. Referring to detail 1/S8.12 and assuming the Glulam Columns are bearing on the top of concrete footings. Please provide detail where the concrete diamonds get poured around the Glulam Columns?

Will provide expansion joint detail for diamond in forthcoming Addendum 3.

- 36. Section 03 30 00-4, line 11 Concrete calls for a 10 year warranty for vapor retarder/termite barrier material. What is the specification for this product? Strike Termite Barrier, Vapor Retarder is indicated 03 3000-5 line 1.
- 37. Please provide a spec for the residential appliances that are in the following rooms: Nurse Room (under counter refrigerator), Comfort Room (under counter refrigerator), Break Room (refrigerator, dishwasher). These items are shown on the drawings and drawing page ID2.0 under appliances, showing contractor furnished and installed.

Residential appliances spec section added .

- 38. Do the interior masonry partitions that don't extend to the bottom of the deck need bond beams at the top of the walls?Yes, provide bond beam at these top of wall locations.
- 39. Section 10 51 26 Plastic Lockers drawing ID2.1 identifies lockers in staff open office 110, but none are called out on the drawings. Please clarify. Lockers in Open Office 110 will be provided by FF&E project, ID2.1 to be revised to indicate.
- 40. Section 10 28 00-2, line 30, Custodial Accessories FF&E schedule (on ID series drawings) and spec do not match spec. Please clarify. JP Cullen will disregard the schedule on the ID series drawings and follow the floor plans unless notified otherwise via addendum. More specifically:

# i. Under counter trash bin

GC to provide undercounter trash bins at built-in waste station at Passage D, at casework in breakroom 114, conference room 119. Wall Recessed trash at Lavs/Toilets/Urinals 109, Toilet/Shower 207, 213. Under sink at toilet shower 145, 146, 147, at single rooms 125, 126, 127, 128, toilet/shower 211, 212. Food Service Equipment provider to provide under counter trash bins at trash station at dining 134.

### ii. Washer and dryer and refrigerator units

Washers and Dryers in kitchen laundry are provided by owner, installed by contractor.

GC to provide undercounter refrigerators in Comfort 113, Nurse 151. GC to provide refrigerator, dishwasher and garbage disposal in break room 114. Updated residential appliance spec section added.

iii. Shelf(s)

GC to provide mop and broom holder – see 10 2800 line 30, storage racks to be furnished and installed by owner (via FF&E).

- iv. Storage racks (bed bug furnace room) Storage racks in bed bug furnace room to be furnished and installed by owner (via FF&E), ID2.1 revised to reflect this.
- 41. Sheet AS1.4 notes a 3B/2 concrete wall type separating the transformer & generator. No details for the wall/footings are shown. Please provide. Please see revised sheet S1.1B Detail 2.
- 42. Please provide more detail for the site concrete directly east of the work depicted in 1/AS1.2 and drawing C400 at the enlarged front entry detail. Need additional detail on wall/footing sizes.

Provide 8" concrete wall with W30 footing 4'-0" below finished grade with #6 bars at 12" OC E/W centered; drawing S1.1A to be updated in forthcoming Addendum 3.

43. Please clarify if any special joint sealant (i.e. MM-80) will be required where Ashford Formula densifier is applied as identified by SC-1 finish per section 03 35 00 concrete finishing.

Yes, Please provide semi-rigid epoxy joint filler at concrete with floor finish SC-1 except at kitchen spaces. use USDA food grade joint sealant in kitchen spaces, See 07 9200.2.1.G.

44. Detail 1/A8.2 gives an option to site cast or utilize precast concrete for the column wraps. Is it the intent of the site cast option for the column wraps to be formed and poured directly in place around the column? If site cast, is a particular formed finish required per section 03 30 00-9?

The intent is that these wraps are attached via cleats and can be removed if damaged/needed. Site cast option is to give contractor more flexibility on how these are made. Finish to be smooth exterior face wet rubbed per detail 1/A8.2.

45. Per the City of Madison Standard Specifications for Public Works Construction 2024 Edition, section 102.13 it is JP Cullen's understanding that compliance with Davis-Bacon is required with this project due to federal funding. Please confirm if Davis-Bacon applies to this project.

While there is a federal funding component to this project, it is locally administered. HUD has determined that we only need to follow Section 3 Reporting requirements in this case and Davis Bacon does not apply. Section 3 reporting requirements were included in Addendum 1.

- 46. Per drawing A9.0C FRP-2 is shown as manufactured by Marlite, per Marlite rep they do not carry a herringbone pattern and the color Mindful Grey is not something that have in their system. Please provide an alternate pattern and color. Marlite rep Paige Grant (<u>pgrant@marlite.com</u> 330-602-2220) has indicated that herringbone can be made with a 4"x16" tile on a 4'x8' panel. Mindful Gray is a custom color.
- 47. Can the 3709 Kinsman Blvd site (alternate #3) be used to stage materials and equipment during construction?

Contract Specifications Part D, Section 104.1 Lands for Work outlines what is acceptable use for the 3709 Kinsman Blvd site as it relates to demolition. It would be acceptable to use the in conjunction with construction activities on 1904 Bartillon Drive, IF ALTERNATE 3 is ACCEPTED, and the specific means and methods are up to The Contractor.

48. Please confirm if the bike racks on the southwest corner of the site are by General Contractor or by Owner. Notes on AS 1.1 and AS1.2 indicate by Owner/Others, but C300 implies by Contractor.

Bike racks at southwest corner of site are N.I.C. by owner, GC to provide concrete pad.

- 49. We were noticing on the Elevations and finish plans that there are a variety of rooms that have Glazed Block called out. However, we found a variety of locations on the plans where masonry walls are called out that show a different pattern on each side of the wall.
  - i. Passage A leading into the restrooms shown at 1/a5.1. the back side of the return on the toilet side of the bathroom is not furred with drywall and that wall is calling for a different color than the corridor side of the wall. Additionally they are calling for double bull nose at the end. This further complicated things as we do not know what color the end of the wall should be and being double bull nose, we would not be able to lay two 4" block next to each other if the intent is truly to have a different color glazed block on both sides of the wall.

Both sides of this wall are GB-12.

ii. Toilet 105 is custom smoke glazed block on the bathroom side of the wall and on the guest intake 103 side of the wall it is light peacock, mist green, and custom clear.

at toilet 107 (janitor's closet is 105), please provide the light peacock, mist green and custom clear colors as shown in guest intake 103. A9.0A is revised to reflect this.

iii. Kitchen alcove east hidden elevation 6/a7.10 is a different group of colors than the dorm 6 west elevation.

Please provide 4" block back to back at this location to accommodate the different colors. Note added to A6.0 to indicate back to back 4" block as required.

- iv. Room 123 Quarantine south elevation shows drywall, the Elevations show glazed block walls. Please advise on wall type in quarantine 123 Detail 20 on A7.2 is revised to indicate painted gyp.
- 50. Mass Timber Framing Questions
  - i. What size members are the roof drain boxout framing 3x6.875 for roof framing beams.
  - ii. Column sizes are not shown on the first floor, are the first floor columns the same size as the second floor columns supporting the roof? can the columns be single story and connected to the second floor deck with the proper connector? Columns are to be 2 stories with CLT floor cut outs at columns.
  - iii. Details 1,2 and 9 on S8.10 mention to include at locations marked with \*; no locations are marked on the plan.
     Details 1 and 2 removed for Addendum 2. No detail 9.
  - iv. Ref CL 4-5, J-I on the roof plan; are the smaller members at the roof opening 8.5x16.5" or a different size? Yes 8.5x16.5.
  - v. Is there a roof davit connection detail? Will provide in forthcoming Addendum 3.
  - vi. Ref 1/S812 what size is the base plate 10x10" or 12x12", also can the recessed pocket be omitted so long as the base plate is grouted neatly?
    12"x12" Base plate, yes structurally the recess can be omitted. Arch to verify.
  - vii. Ref 2,4/S812 is the Ricon XL desired here? That is a large bracket ~15" tall, we have concerns on the required tolerances required on the purlin end given

the size of the bracket. Ricon XL required per load at connection.

- viii. 3/S812 references a 29.5" deep glulam, per the plan the tag is through a 16.5" glulam, is this mislabeled?
  Plan callout should be through N/S purlins on roof, and connection should instead be Megant 550 x 100 with 19.5k capacity. In forthcoming Addendum 3 we will provide plan views with connection labels to more clearly label all connectors that are required.
  - ix. Can you please indicate the locations on the plan where 5/S8.12 occur it is difficult to decipher where members fly past tight to the wall vs where it is intended to have a beam/purlin connector to CMU. This connection only occurs at E/W beams framing into the North CMU stairwell. Will make clearer in forthcoming Addendum 3.
  - x. Ref 6/S812; I believe this is a detail for the girder/column connection for both interior and exterior grid lines, the detail calls out a Ricon XL clip but mentions a Megant clip where the beam loading is listed. Based on the listed kips, we believe the Megant clip must be used, please clarify what clip is to be used. This being said, if I am understanding the loading correctly, this would be used at essentially all column/girder connections running North/South? Please confirm.

At all 2nd floor interior girder locations the custom Megant clip will be required due to high loading. See previous question regarding N/S roof girder connection.

# 3. ACCEPTABLE EQUIVALENTS

1. See specifications

# 4. SPECIFICATIONS

- 1. 03 30 00 CAST-IN-PLACE CONCRETE
  - i. Article 1.5, paragraph D, subparagraph 2, erase "termite barrier."
  - ii. Article 1.10, paragraph A, erase all mention of "termite barrier."
  - iii. Add article 2.11 to read as follows:
    - "2.11 Sound Mat
      - A. Manufacturers:
        - 1. Pliteq, GenieMat FF25.
        - 2. Hacker, SCM-750.
        - 3. Or approved equal."
  - iv. Article 3.13, paragraph A, subparagraph 1, revise to read as follows: "Defer joint filling until concrete has aged at least six months."
- 2. 04 72 00 CAST STONE MASONRY
  - i. Article 2.1, add Custom Cast Stone to list of approved manufacturers.
- 3. 05 12 00 STRUCTURAL STEEL FRAMING
  - i. 05 1200-5 line 40 revised to read " Special Inspections: Contractor will engage a special inspector to perform the following special inspections:
- 4. 06 15 43 CROSS LAMINATED TIMBER PANELS
  - i. Article 2.1.A Add Nordic X-Lam CLT panels in SPF grade E1 as approved product.
  - ii. Add Dowel Laminated Timber (DLT) as an acceptable alternative product to CLT
- 5. 06 18 00 GLUED LAMINATED CONSTRUCTION
  - i. Revise Beam Stress Classification: "24F" on line 20.
  - ii. Article 2.2.A Add Nordic Lam+ SPF grade 24f-ES/NPG as approved product.
- 6. 07 21 00 THERMAL INSULATION
  - i. Article 2.3.A.1 add John Manville to list of approved manufacturers.
  - ii. Article 2.5.A.1 add John Manville to list of approved manufacturers.
- 7. 07 42 13.23 METAL COMPOSITE WALL PANELS

- i. Article 2.1.A.1 add Alfrex to list of approved manufacturers
- 8. 07 72 33 VEGETATED ROOF SYSTEMS
  - i. Article 2.1.A.2 add Greengrid G5 Extensive with permaloc geoedge to list of approved products.
- 9. 07 41 13 METAL ROOF PANELS
  - i. Section added and included as part of this addendum.
- 10. 07 46 19 PREFORMED STEEL SIDING
  - i. Article 2.1.A
    - add AL13 Plank to list of approved manufacturers
    - add LYNX to list of approved manufacturers
- 11. 08 11 13 HOLLOW METAL DOORS AND FRAMES
  - i. Article 2.5, revise paragraph B to read as follows:
    - "Construction: Knock-down."
- 12. 08 42 29.23 SLIDING AUTOMATIC ENTRANCES
  - i. Article 2.1.A add Nabco GT 1175 Whisperslide to list of approved products
- 13. 10 26 00 CORNER GUARDS
  - i. Construction Specialties removed as approved manufacturer.
  - ii. Wallprotex added as approved manufacturer.
  - iii. Revise article 2.2 to read as follows:
    - A. Rigid Vinyl.
    - B. Thickness: Minimum 0.08 inch.
    - C. Mounting: Mounted on a 0.07 inch pre-punched continuous aluminum retainer.
- 14. 10 51 26 PLASTIC LOCKERS
  - i. Article 1.2.A add LockersMFG HDPE Series to list of approved manufacturers
- 15. 10 73 13 ALUMINIUM CANOPIES
  - i. Section added and included as part of this addendum.
- 16. 10 75 16 GROUND SET FLAGPOLE
  - i. Delete section in its entirety. not used.
- 17. 10 82 00 TRELLIS SYSTEM
  - i. Delete section in its entirety. not used.
- 18. 11 31 00 RESIDENTIAL APPLIANCES
  - i. Section added and included as part of this addendum.
- 19. 11 40 00 FOOD SERVICE EQUIPMENT
  - i. 11 4000-1 Delete "quarry tile or other" from line 26.
  - ii. 11 4000-9 Delete lines 44-45.
  - iii. 11 4000-12 Replace "Model 1600KITCF2S48PS Dormont" with Vulcan VC66ED on line 47.
  - iv. 11 4000-12 Revise "VE40" to "SEL40TR" on line 56.
  - v. 11 4000-13 add "RR4" on line 11.
  - vi. 11 4000-14 add "including base HS6" to line 6.
  - vii. 11 4000-14 add T&S B-3950 to line 23.
  - viii. 11 4000-14 Revise "B-455" to "B-0455" on line 36.
  - ix. 11 4000-14 Revise "DL2WI-SS-RT-E" to "D2RIN-SS-RT-E" on line 46.
  - x. 11 4000-16 Revise "B-455" to "B-0455" on line 20.
  - xi. 11 4000-17 Revise "2448" to "2448BR" on line 17.
  - xii. 11 4000-18 Add X1 to "Franke Eco ICE" on line 12.
- 20. 23 73 13 MODULAR INDOOR CENTRAL-STATION AIR-HANDLING UNITS
- i. Article 2.1.B add York / JCI to list of approved manufacturers.
- 21. 26 05 26 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS
  - i. 26 0526-4 delete line 30 (3.6.A)
- 22. 26 51 00 INTERIOR LIGHTING
  - i. Article 2.1.I –

- add Visual Impact Lighting and JTH Lighting Alliance as an approved supplier note supplier to provide fixtures equal to product specified in lighting schedule.
- 23. 26 56 00 EXTERIOR LIGHTING
  - i. Article 2.1.A add Wagner Lumenpod-28 Asymmetric as an approved product for the handrail lighting.
- 24. 28 31 11 DIGITAL ADDRESSABLE FIRE-ALARM SYSTEM
- i. Article 2.4.A add Edwards to list of approved manufacturers.
- 25. 31 05 00 COMMON WORK RESULTS FOR EXTERIOR IMPROVEMENTS
  - i. 31 0500-2 revise line 17 (1.3.C) to read "Testing and Inspection Service: Contractor shall engage soil testing and inspection service (geotechnical engineer) for quality control testing during earthwork operations."
  - ii. 31 0500-4 remove reference to unit pricing on bid form.
  - iii. 31 0500-5 revise line 19 (2.2B) to read "Contractor shall provide...".
- 26. 31 22 16.15 ROAD SUBGRADE PREPARATION
  - i. 31 22 16.15-3 Revise line 35 and 36. Remove reference to unit pricing on bid form.
- 27. 32 11 23.33 DENSE GRADED BASE
  - i. 32 11 23.33-4 Revise line 16 and 17. Remove reference to unit pricing on bid form.
- 28. 32 90 12 LANDSCAPE MAINTENANCE
  - i. 32 90 12-6 Delete line 40.

## 5. DRAWINGS

- 1. AS1.1 ARCH SITE PLAN
  - i. Revise site entry to match Civil revisions
- 2. AS1.2 ARCH SITE PLAN ENTRY RAMP
  - i. Revise site entry to match Civil revisions
- 3. AS1.3 ARCH SITE PLAN ENTRY CANOPY & SITE COMPONENTS
  - i. Detail 3 Entry Canopy Roof Plan
    - Reduce Canopy overhang depth 6" (from 9'-3.5" to 8'-9.5")
  - ii. Detail 4 Entry Canopy Floor Plan
    - Revise Entry Patio to match civil
  - iii. Detail 5 Entry Canopy Section
    - Reduce Canopy overhang depth 6" (from 9'-3.5" to 8'-9.5")
    - Reduce Canopy overhang height 1" (from 11'-7.5" to 11'-6.5")
- 4. AS1.5 ARCH SITE PLAN SITE DETAILS
  - i. Add detail 8 Type R2 railing at accessible ramp
- 5. C300 SITE PLAN
  - i. Geometry of the patio, stairs, and ramp have changed
- 6. C301 DIMENSIONED SITE PLAN
  - i. Geometry of the patio, stairs, and ramp have changed
- 7. C310 FIRE ACCESS PLAN
  - i. Geometry of the patio, stairs, and ramp have changed
- 8. C400 GRADING PLAN
  - i. Grading updated to account for new geometric changes to the front entryway
- 9. C401 EROSION CONTROL PLAN
  - i. Erosion control updated
- 10. C500 UTILITY PLAN
  - i. Storm Sewer updated to account for new geometry
- 11. C501 GEOTHERMAL PLAN
  - i. geothermal field location updates
- 12. L100 LANDSCAPE NOTES
  - i. plant list updates
- 13. L200 MULCH, SEED, AND SOD PLAN

- i. Updates to landscaping to accommodate front entryway geometry changes
- 14. L201 PLANTING PLAN
- i. Updates to landscaping to accommodate front entryway geometry changes
- 15. S0.01 STRUCTURAL NOTES
  - i. Revise Masonry Notes
  - ii. Revise Cross Laminated Timber Panel Notes
  - iii. Revise Wind loads basic wind speed
- 16. S0.02 STRUCTURAL NOTES
  - i. Revise masonry wall reinforcement schedule
- 17. S1.1A FOUNDATION PLAN AREA A
  - i. Add piers at front entry canopy
  - ii. Add keynote A
- 18. S1.1B FOUNDATION PLAN AREA B
  - i. Revise footing at stair B
  - ii. Add detail 2 showing footing for mechanical area concrete wall
  - iii. W30 footing indicated at Stair C
- 19. S1.2A SECOND FLOOR FRAMING PLAN AREA A
  - i. Add keynote A
  - ii. Revise beam sizes as indicated
- 20. S1.2B SECOND FLOOR FRAMING PLAN AREA B
  - i. Revise beam sizes as indicated
  - ii. Revise column as indicated
- 21. S1.3A ROOF FRAMING PLAN AREA A
  - i. Add detail reference to 10/S8.11
- 22. S1.3B ROOF FRAMING PLAN AREA B
  - i. Add detail reference to 10/S8.11
- 23. S8.10 STRUCTURAL DETAILS
  - i. Delete Details 1 and 2: not used
  - ii. Renumber Details
- 24. S8.12 STRUCTURAL DETAILS
  - i. Detail 6 S6 Connection revised
- 25. S8.13 STRUCTURAL DETAILS
  - i. Add sheet to set
- 26. A6.0 ASSEMBLY TYPES VERTICAL
  - Detail 4V Note added to Wall type 4E (glazed CMU) to indicate back to back 4" blocks where required to accommodate different glazed block colors shown on interior elevations.
- 27. A7.2 INTERIOR ELEVATIONS
  - i. Detail 3 revised to indicate glazed CMU pattern to be opposite of pattern in day use 103
  - ii. Detail 20 revised to indicate painted gyp wall.
- 28. A8.5 DETAILS
  - i. Add metal canopy attachment detail 10
- 29. A9.0A ROOM FINISH SCHEDULE
  - i. Toilet 107 Revise GB-12 at south wall to be GB-5,6,11. Pattern to mirror guest intake 103 (see detail 2/A7.9)
- 30. A9.0C FINISH LIST
  - i. Indicate corner guard size, style and finish.
  - ii. Revise FRP-2 to reflect discussions with Marlite rep.
  - iii. Revise RF-2 location in notes
- 31. A9.1A FIRST FLOOR FINISH PLANS AREA A
  - i. Corner guard locations added to plans
- 32. A9.1B FIRST FLOOR FINISH PLANS AREA B
  - i. Corner guard locations added to plans
- 33. A9.2A SECOND FLOOR FINISH PLANS AREA A

- i. Corner guard locations added to plans
- 34. A9.2B- SECOND FLOOR FINISH PLANS AREA B
- i. Corner guard locations added to plans
- 35. ID2.0 FF&E SCHEDULE (PART 1)
  - i. Laundry 209 equipment to be provided by laundry equipment provider (see drawing L1)
  - ii. Break Room 114 indicate garbage disposal electrical needs
  - iii. Dining / Day use 134 AED to be provided and installed by contractor
- 36. ID2.1 FF&E SCHEDULE (PART 2)
  - i. Bed Bug Furnace Room Storage racks to be provided and installed by owner (via FF&E)
- 37. M002 MECHANICAL SITE PLAN
  - i. Correct location of DOT setback line. Adjust Geothermal Bore field to stay out of DOT setback.
- 38. E002 ELEC. SITE PLAN
  - i. Removed parking lot area head and pole.
  - ii. Removed bollard from driveway entry.
  - iii. Modified rail lighting.
  - iv. Modified entry canopy lighting with new Type ODB.
- 39. E402 LIGHTING SECTIONS
  - i. Modified Light Rail Sections
- 40. EP001 ELEC. SITE PLAN
  - i. update civil backgrounds.
- 41. E602 LIGHTING EXTERIOR FIXTURE SCHEDULE
  - i. Added Type ODB, OWG.
  - ii. Modified lumens, wattages, catalog numbers where indicated.
  - iii. Modified Type OWE.
- 42. FS7 FOOD SERVICE WALK-IN
  - i. On Sheet Specifications
    - Revise 2<sup>nd</sup> line (W/ FLOOR, IN 8" DEPRESSION)
  - ii. Section View Thru Entrance Door
    - Revise Recess from 7" to 8" to coordinate with other details.
    - Delete quarry tile and setting bed
    - Indicate 3" minimum concrete finish floor
- 43. Multiuse Path Drawings (Exhibit E)
  - i. Changes made to coordinate with updates to site civil work forthcoming to Addendum 3

### 6. PROPOSAL SPECIFICATIONS

1. No Change.

Please acknowledge this addendum in Section E on page E-1: Bidder's Acknowledgement on Bid Express.

Electronic version of these documents can be found on Bid Express at <u>https://www.bidexpress.com/</u> and the City of Madison web site at http://www.cityofmadison.com/business/PW/contracts/openforBid.cfm

If you are unable to download plan revisions associated with the addendum, please contact the Engineering office at 608-266-4751 to receive the material by another method.

#### For questions regarding this bid, contact:

The Project Architect for this contract is:	The City Project Manager for this contract is:
Dimension IV Madison Design Group	City of Madison
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Sincerely,

James M. Wolfe, P.E., City Engineer